

Preston Office:
7 East Cliff
Preston
Lancashire
PR1 3JE
T: 01772 258356
E: preston@cassidyashton.co.uk

Chester Office:
10 Hunters Walk
Canal Street
Chester
CH1 4EB
T: 01244 402900
E: chester@cassidyashton.co.uk

CONDITION SURVEY REPORT

In respect of
Cuerden Hall
Shady Lane, Bamber Bridge, Preston PR5 6AZ



Architects
Masterplanning Consultants
Specialist Conservation Architects
Project Managers
Interior Designers
Landscape Architects

Building Surveyors
Party Wall Surveyors
DDA Consultants
Heritage & Conservation Surveyors

Town Planning Consultants
Development Consultants
Neighbourhood Planning Consultants
Environmental Impact Assessors
Retail Impact Consultants

Prepared by: Jennifer Moffat BSc (Hons) MRICS
Daisy Wynne-Jones BSc (Hons)

Cassidy + Ashton Group Ltd
Architects and Building Surveyors
7 East Cliff
Preston
PR1 3JE

Date: November 2019

Job No: 10086

Our Ref: JEM/DWJ/10086
Date: November 2019

**Re: Cuerden Hall, Preston
Condition Inspection and Report**

1.00 **INTRODUCTION**

1.01 We thank you for your instructions to prepare a condition report on the above building in accordance with our terms of business for carrying out condition surveys. Our instructions were to undertake a condition inspection to internal and external elements of this building. We were also requested to make general comments on the overall condition of the external fabric of the building with associated recommendations.

1.02 The property was inspected on Monday 14th October 2019 – Wednesday 16th October 2019 during periods of overcast and intermittently sunny weather. No access was gained in floor ducts or ceiling voids was possible during our survey. Higher level access was gained to the roof areas from existing scaffolding. No high level access was gained to the elevations and these were surveyed from ground level.

1.03 The room references in the enclosed survey correspond with those with those on the floor plans enclosed in Appendix A.

1.04 A photographic schedule showing defects identified has been included within Appendix B.

2.00 **INSTRUCTIONS**

2.01 We have checked all visible exposed and accessible elements of construction relevant to our instruction in order to give an opinion on the defects and shortcomings which are likely to adversely affect the use of the building or give rise to expenditure in the future.

2.02 We have not lifted loose laid floor coverings for inspection. We have not emptied the contents of any fitted cupboards, moved heavy furniture or lifted carpets or floorboards. We did not inspect woodwork or other parts of the structure which are covered, unexposed or inaccessible and we shall, therefore, be unable to report that any such part of the property is free from defects. With the exception of the one roof are access, all other areas externally have been inspected from ground level.

2.03 We have not arranged for any exposure works to the substructure or below ground, or to carry out tests for high alumina cement concrete, calcium chloride, asbestos or the use of wood wool slabs as permanent shuttering.

- 2.04 With regard to service installations, incoming mains, wastes and drains, we have not reported on any matters other than those which came to light during our inspection as requiring further investigation by specialists including arranging tests to be carried out unless specifically instructed beforehand.
- 2.05 We have not reported on any matters relating to the external areas around the building including footpaths, landscaping and car parking areas.
- 2.06 All documents should be cross referenced when determining the overall extent of repairs and alterations required.
- 2.07 CAVEATS
- 2.08 No access has been undertaken above suspended ceilings and ceiling voids, due to a risk of Asbestos Containing Materials (ACM's).
- 2.09 We have not commented on Mechanical or Electrical. We would advise that a specialist report is undertaken to determine its efficiency.

3.0 **EXECUTIVE SUMMARY**

- 3.1 The external elevations are finished with a combination of red brick and sandstone ashlar with decorative string course that wraps around the building. Throughout there are isolated areas of delamination, spalling and damage to the string course. There are high amounts of vegetation with ivy growth in several areas, lichen growth and tree growth at higher level.
- 3.2 The roofs are mainly covered with natural slates, skylights, terracotta ridge and valley detailing and a combination of dressing stones. There are three flat roof areas one covered with bitumen felt and two covered with lead. Throughout the roofs require attention due to water ingress internally and water damage to the external envelop of the building.
- 3.3 The windows to the building are single glazed timber framed and are generally in reasonable condition with some areas that are rotten to the frames. Several appear to have been replaced since original construction which are in reasonable condition.
- 3.4 The internal areas exhibit a range of defects some of which is down to wear and tear, others are as a result of water ingress from the roof areas.
- 3.5 Previous Asbestos reports have identified Asbestos in several areas. Areas were inaccessible due to disturbed asbestos.

Room No	Description	Condition	Further Recommendations	Condition Score
Basement Area				
Room 1	Brick vaulted ceiling and exposed brick walls (both painted), concrete floor	Reasonable condition, fit for basement purpose. Area of peeling paintwork (possibly damp)	Allow to remove peeling paintwork and redecorate.	
Room 2	Brick vaulted ceiling and brick walls (both painted), exposed blockwork, concrete floor, timber staircase to ground floor.	Overall reasonable condition, some brickwork at lower level appears to be spalling, isolated repairs have been undertaken previously, black mould was identified to the ceiling.	Allow to undertake repairs to brickwork, replacing any bricks if required prior to redecorating.	
Room 3	Plastered ceiling and walls (some areas exposed), concrete floor	Overall in reasonable condition, areas of damaged brickwork.	Allow to undertake repairs to brickwork, replacing any bricks if required prior to redecorating.	
Room 4	Brick vaulted ceiling and exposed brick walls (both painted), stone flag floor	Overall reasonable condition, with areas of damp identified.	Allow to monitor damp to access if tanking is required.	
Room 5	Brick vaulted ceiling and exposed brick walls (both painted), stone flag floor	Overall reasonable condition, with areas of damp identified.	Allow to monitor damp to access if tanking is required.	
Room 6	Brick vaulted ceiling and exposed brick walls (both painted), stone flag floor	Overall reasonable condition, with areas of damp identified.	Allow to monitor damp to access if tanking is required.	
Room 7	Plastered walls and plastered vaulted ceiling	Overall in satisfactory condition.	Allow to decorate	
Room 8 - Workshop	Brick vaulted ceiling and exposed brick walls (both painted), stone flag floor	Overall reasonable condition, with areas of damp identified.	Allow to monitor damp to access if tanking is required.	
Room 9	Brick vaulted ceiling and exposed brick walls (both painted), stone flag floor	Overall reasonable condition, with areas of damp identified.	Allow to monitor damp to access if tanking is required.	
Room 10	Painted brickwork walls, painted plastered ceiling and painted concrete floor	Overall satisfactory condition. Isolated areas of damaged blockwork.	Allow to repair damaged blockwork	
Room 11	Painted plastered ceiling and painted blockwork walls, solid floor	Reasonable condition, fit for purpose, damp staining to floor, some minor cracking to ceiling	Allow to monitor damp to access if tanking is required.	

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Room No	Description	Condition	Further Recommendations	Condition Score
Room 12	Painted ceiling, painted brickwork walls, solid floor	Fit for purpose of boiler house, some peeling to paintwork identified due to damp.	Allow to monitor damp to access if tanking is required.	
Room 13 - Oil Tank room	Painted ceiling, painted brickwork walls, solid floor	Limited visibility but fit for purpose		

Room No	Description	Condition	Further Recommendations	Condition Score
Ground Floor - Room 1	Plaster detailed ceiling with circular roof light and stone walls. Entrance carpet to floor area.	Poor condition, damp and cracking noted throughout walls and ceiling.	Allow to rectify external elements causing damp prior to scraping off existing paint and redecoration using a breathable paint to high level. Allow to replace entrance matting.	
Room 2	Plastered and subsequently decorated ceiling and walls. Vinyl flooring.	Overall satisfactory		
Room3	Plastered and subsequently decorated ceiling and walls. Vinyl flooring.	Overall satisfactory		
Room 4	Plastered and subsequently decorated ceiling. Tiled walls. Vinyl flooring.	Overall satisfactory with wall tiles appearing to tent in areas.	Allow to hack off and retile walls.	
	Sanitary ware	Satisfactory condition.		
Room 5	Plastered and subsequently decorated ceiling. Tiled walls. Vinyl flooring.	Overall poor condition. Damp noted and tenting to the tiles. Also black mould noted to the window area.	Allow to investigate integrity of window areas prior to scraping off existing paint and redecoration using a breathable, anti-mould paint. Allow to hack off existing tiles and allow to retile.	
Room 6	Plastered and subsequently decorated ceiling and walls. Vinyl flooring.	Overall satisfactory condition with minor damp staining noted.	Allow to redecorate using a breathable paint.	
Room 7 - Lounge	Plastered and subsequently decorated ceiling and walls. Plaster cornicing detail. Timber panelling to lower level and timber strip flooring	Overall condition satisfactory with some damp staining to the ceiling area.	Allow to redecorate using a breathable paint.	
Room 8	Plastered and subsequently decorated ceiling and walls. Carpeted flooring.	Overall condition satisfactory, minor cracking noted to the cornice and details. Carpet tiles slightly worn and dated	Infill cracking to cornicing detail and redecorate. Allow to replace carpet complete.	
Room 9 - Physio	Plastered subsequently decorated ceiling and walls, timber flooring.	Overall condition poor with damp staining and flaking paint noted throughout the ceiling and walls.	Allow to scrape off flaking paint and check the integrity of external elements causing damp prior to redecoration using a breathable paint to ceiling and walls.	

Room No	Description	Condition	Further Recommendations	Condition Score
Room 10	Plastered subsequently decorated ceiling and walls, timber flooring.	Satisfactory condition.		
Room 11	Plastered subsequently decorated ceiling and walls, timber flooring.	Satisfactory condition.	Requires redecoration to the wall area.	
Room 12	Walls plastered and subsequently decorated. Carpet tiles throughout.	Overall satisfactory condition.	Carpet requires replacement	
Room 13 - Sitting Room	Plastered and subsequently decorated ceiling and walls. Timber flooring.	Overall condition is noted as poor with damp noted to the plastered ceiling, flaking paint throughout.	Allow to scrape off flaking paint to ceiling prior to redecoration using a breathable paint.	
Room 14	Plastered and subsequently decorated ceiling and walls. Timber panelling to lower level and timber strip flooring	Overall condition is fair, some damp staining to the corner noted.	Requires redecoration throughout using a breathable paint.	
Room 15	Plastered, subsequently decorated ceiling and walls. Carpet finish to flooring.	Overall condition of room 15 is satisfactory with chipped paint to the skirtings and part of the architrave missing due to fixings.	Allow to replace architrave woodwork and subsequently decorate.	
Room 16	Plastered, subsequently decorated ceiling and walls. Vinyl finish to flooring.	Overall condition is poor with severe cracking noted in areas and a leak to the pipework area.	Allow to investigate integrity of pipework and a structural engineer to review cracking prior to infilling and redecoration.	
Room 17	Plastered ceiling and walls subsequently decorated.	Overall condition satisfactory.		
Room 18	Suspended ceiling tiles in metal grid, plastered walls subsequently painted and carpet finish to flooring.	Overall condition satisfactory with damage to the skirtings.	Allow to infill and redecorate skirtings.	
Room 19	Fixed ceiling tiles, plastered walls subsequently decorated. Carpet tiles to flooring.	Overall condition is satisfactory with some damp noted to the right hand side of the corridor ceiling causing the ceiling tiles and cornicing detail to bow.	Allow to investigate causes of water ingress and bowing prior to removing tiles and replacing with new.	

Room No	Description	Condition	Further Recommendations	Condition Score
Room 20	Suspended ceiling tiles in a metal grid. Plastered walls subsequently decorated and carpet to flooring.	Overall condition is satisfactory with cracking noted below the dado rail.	Allow to infill cracking and redecorate.	
Room 21	Suspended ceiling tiles in a metal grid. Plastered walls subsequently decorated and carpet to flooring.	Overall condition is satisfactory with damage to 5 ceiling tiles.	Allow to replace isolated tiles.	
Room 22 - Server Room	Plastered and subsequently decorated ceiling and walls.	Overall condition is poor with cracking and damp noted throughout.	Allow for a structural engineer to review cracking prior to infilling and redecoration using a breathable paint.	
Room 23 - Secretary's Office	Plastered and subsequently decorated ceiling and walls. Carpet to floor area	Overall condition is satisfactory.		
Room 24 - Store Cupboard	Plastered and subsequently decorated ceiling and walls.	Overall condition is satisfactory with cracking noted to higher level.	Allow for a structural engineer to review cracking prior to infilling and redecoration using a breathable paint.	
Room 25 - Office Area	Plastered and subsequently decorated ceiling and walls. Carpet to floor area	Overall condition is satisfactory		
Room 26 - Reception Area	Plastered and subsequently decorated ceiling and walls. Carpet to floor area	Overall condition is satisfactory.		
Room 27	Plastered subsequently decorated walls and ceiling.	Overall condition is satisfactory.		
Room 28 - WC	Ceilings plastered subsequently painted, tiles to the wall areas and vinyl flooring.	Overall condition poor. Cracking to ceiling plaster noted. Walls tiles appear to be tenting, displaying signs of damp. Floors are vinyl and in poor condition - coming loose in areas.	Allow for a structural engineer to review cracking prior to plastering ceiling and redecoration. Allow to hack off existing tiles and rectify cause of damp prior to replacing with new. Allow to replace vinyl flooring.	

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Room No	Description	Condition	Further Recommendations	Condition Score
Room 29 - Communal Bathroom	Ceilings plastered subsequently painted, tiles to the wall areas and vinyl flooring.	Overall condition fair. Minor cracking noted and damp staining to the ceiling.	Allow to infill cracking prior to redecoration using a breathable paint.	
Room 30	Plastered walls subsequently decorated.	Overall in satisfactory condition.		
Room 31	plastered and subsequently decorated ceiling and wall areas. Vinyl flooring throughout.	Overall condition satisfactory with minor cracking and damp noted to the ceiling area.	Allow to infill cracking prior to redecoration using a breathable paint.	
Room 32	Plastered walls subsequently decorated.	Overall in satisfactory condition.		
Room 33 - Staff Toilet	Plastered and subsequently decorated ceiling and walls, tiled flooring subsequently painted.	Overall condition is satisfactory	Grout requires replacement and tiled floor requires redecoration	
Room 34 - Cleaners Cupboard	Plastered and subsequently decorated ceiling and walls, tiled flooring subsequently painted.	Overall condition is poor, damp and black mould noted throughout.	Allow to rectify cause of damp prior to redecoration using a breathable, anti mould paint.	
Room 36 - WC and Shower	Plastered ceiling subsequently decorated, wall tiles and vinyl flooring noted.	Overall condition is fair with cracking noted to the ceiling area.	Allow for a structural engineer to advise on cracking.	
Room 37 - No access				
Room 38	Plastered ceiling and walls subsequently decorated, carpeted floor area.	Overall condition satisfactory.		
Room 39	Plastered ceiling and walls subsequently papered and decorated, timber flooring noted.	Overall condition satisfactory with flaking paper to the ceiling area.	Allow to scrape off flaking paper prior to redecoration using a breathable paint.	
Room 40	Plastered and subsequently decorated ceiling and walls. Timber flooring noted.	Overall condition satisfactory with some areas of damp to the ceiling.	Allow to scrape off flaking paint prior to redecoration using a breathable paint.	
Room 41 - Corridor	Fixed tiled ceiling, plastered and subsequently decorated walls and carpeted flooring.	Overall satisfactory with cracking noted surrounding the external door	Allow to infill cracking prior to redecoration.	

Room No	Description	Condition	Further Recommendations	Condition Score
Room 42	Plastered subsequently decorated ceiling and walls, vinyl flooring noted.	Overall condition is satisfactory with minor cracking towards the window area.	Allow to infill cracking prior to redecoration.	
Room 43	Plastered subsequently decorated ceiling and walls, vinyl flooring noted.	Fair condition with minor damp areas to the external wall.	Allow to check integrity of external elements prior to redecoration using a breathable paint.	
Room 44	Plastered subsequently decorated ceiling and walls, vinyl flooring noted.	Overall in satisfactory condition.		
Room 45 - not accessible				
Room 46	Plastered and subsequently decorated ceiling. Tiled walls and floors.	Overall in poor condition with cracking noted to the external wall. Black mould also noted to high level.	Allow for a structural engineer to review cracking prior to infilling and redecoration using a breathable, anti mould paint.	
Room 47 - Kitchen	Plastered and painted ceiling with tiled walls. Vinyl flooring throughout	Overall in satisfactory condition.		
Room 48 - Store Cupboard	Plastered and painted ceiling with tiled walls. Vinyl flooring throughout	Satisfactory condition.		
Room 49 - Wash Area	Plastered and painted ceiling with tiled walls. Vinyl flooring throughout	Overall in satisfactory condition.		
Room 50	Fixed ceiling tiles. Walls are plastered and subsequently decorated with carpet tiles to flooring.	Overall in fair condition with damp noted to the ceiling details and cornices.	Allow to investigate cause of water ingress prior to redecoration using a breathable paint.	
Room 51 - Staff Room	plastered and subsequently painted ceilings and walls with vinyl covering to the flooring.	Overall in fair condition with damp and cracking noted to the cornices.	Allow to investigate cause of water ingress prior to infilling and redecoration using a breathable paint.	
Room 52	Plastered ceiling and walls subsequently decorated, vinyl flooring.	In satisfactory condition		

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Room No	Description	Condition	Further Recommendations	Condition Score
Room 53 - no access	Plastered ceiling and walls subsequently decorated, vinyl flooring.	Overall in poor condition with damp noted throughout. Cracking to high level.	Allow for a structural engineer to review cracking prior to infilling and redecoration using a breathable paint.	
Room 54	Plastered ceiling and walls subsequently decorated, vinyl flooring.	Overall condition fair with minor cracking and damage to the walls noted.	Allow to infill cracking prior to redecoration.	
Room 55	Plastered ceiling and walls subsequently decorated, vinyl flooring.	Overall condition satisfactory.		
Room 56	Plastered ceiling and walls subsequently decorated, vinyl flooring.	Overall satisfactory.		
Room 57	Plastered ceiling and walls subsequently decorated, vinyl flooring.	Overall satisfactory condition.		
Room 58	Plastered ceiling and walls subsequently decorated, vinyl flooring.	Overall satisfactory condition.		
Room 59	plastered ceiling subsequently painted. Exposed masonry to walls, subsequently decorated and vinyl flooring.	Overall satisfactory condition with minor areas of damp noted.	Allow to redecorate using a breathable paint	
Room 59A	plastered ceiling subsequently painted. Exposed masonry to walls, subsequently decorated and vinyl flooring.	Overall poor condition with areas of damp causing flaking paint and vegetation and fungi growth in areas.	Allow to scrape off flaking paint/vegetation and check the integrity of external elements causing damp prior to redecoration using a breathable, anti mould paint to ceiling and walls.	
Room 60	Plastered subsequently painted ceilings and walls. Vinyl noted to floor areas.	Overall poor condition with damp and cracking noted throughout.	Allow for a structural engineer to advise on cracking prior to redecoration using a breathable paint.	
Room 61	Assumed plastered subsequently painted ceilings and walls. Vinyl noted to floor areas.	Assumed poor condition with damp and cracking noted throughout.	Allow for a structural engineer to advise on cracking prior to redecoration using a breathable paint.	

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Room No	Description	Condition	Further Recommendations	Condition Score
Room 62	Plastered subsequently painted ceilings and walls. Vinyl noted to floor areas.	Overall poor condition with damp and cracking noted throughout.	Allow for a structural engineer to advise on cracking prior to redecoration using a breathable paint.	
Room 63	Plastered subsequently painted ceilings and walls. Vinyl noted to floor areas.	Overall poor condition with damp and cracking noted throughout.	Allow for a structural engineer to advise on cracking prior to redecoration using a breathable paint.	
Room 64	Plastered subsequently painted ceilings and walls. Vinyl noted to floor areas.	Overall poor condition with damp and cracking noted throughout.	Allow for a structural engineer to advise on cracking prior to redecoration using a breathable paint.	
Room 65	Plastered subsequently painted ceilings and walls. Vinyl noted to floor areas.	Overall poor condition with damp and cracking noted throughout.	Allow for a structural engineer to advise on cracking prior to redecoration using a breathable paint.	
Room 66	Plastered subsequently painted ceilings and walls. Vinyl noted to floor areas.	Overall poor condition with damp and cracking noted throughout.	Allow for a structural engineer to advise on cracking prior to redecoration using a breathable paint.	
Room 67	Plastered subsequently painted ceilings and walls. Vinyl noted to floor areas.	Overall poor condition with damp and cracking noted throughout.	Allow for a structural engineer to advise on cracking prior to redecoration using a breathable paint.	
Room 68	Plastered subsequently painted ceilings and walls. Carpet noted to floor areas.	Overall satisfactory condition with minor damp and cracking noted. Carpet stained throughout.	Allow to infill cracking prior to redecoration using a breathable paint. Allow to replace carpet.	
Room 68A	Lath and plaster ceiling and walls	Severely poor condition with missing plaster throughout.	Allow to replaster.	
Room 69	Plastered subsequently painted ceilings and walls. Carpet noted to floor areas.	Overall satisfactory condition with minor damp and cracking noted.	Allow to infill cracking prior to redecoration using a breathable paint. Allow to replace carpet.	
Room 70	Plastered subsequently painted ceilings and walls. Carpet noted to floor areas.	Overall poor condition with damp and cracking noted.	Allow to infill cracking prior to redecoration using a breathable paint. Allow to replace carpet.	

Room No	Description	Condition	Further Recommendations	Condition Score
Room 71	Plastered subsequently painted ceilings and walls. Carpet noted to floor area.	Extremely poor condition with damp, black mould and severe cracking noted. Water ingress present and ceiling appears bowed in areas.	Allow to remove ceiling and rectify cause of water ingress prior to replacing with new, plastering and subsequently decorating in a breathable, anti mould paint.	
Room 72	Plastered subsequently painted ceilings and walls. Carpet noted to floor area.	Poor condition with damp, black mould and cracking noted. Ceiling appears bowed in areas.	Allow to remove ceiling and rectify cause of water ingress prior to replacing with new, plastering and subsequently decorating in a breathable, anti mould paint.	
Room 73	Plastered subsequently painted to ceiling and wall areas.	Overall appears in satisfactory condition from where visible.		
Room 74	Plastered subsequently painted ceilings and walls. Carpet noted to floor areas.	Overall poor condition with damp and severe cracking noted.	allow for a structural engineer to advise on cracking prior to undertaking any works and redecoration using a breathable paint,.	
Room 75	Plastered subsequently painted ceilings and walls.	Overall poor condition with damp and areas of water ingress.	Allow to rectify external causes of water ingress prior to redecoration using a breathable paint.	
Room 76	Plastered subsequently painted ceilings and walls. Carpet noted to floor area.	Extremely poor condition with damp, black mould and severe cracking noted. Water ingress present.	Allow for a structural engineer to advise on cracking and allow to rectify external causes of water ingress prior to undertaking any works and redecoration using a breathable paint,.	
Room 77	Plastered subsequently painted ceilings and walls.	Overall poor condition with damp and cracking noted. Large hole noted to ceiling plaster.	Allow to remove ceiling and rectify cause of water ingress prior to replacing with new, plastering and subsequently decorating in a breathable, anti mould paint.	
Room 78	Plastered subsequently painted ceilings and walls. Carpet noted to floor area.	Extremely poor condition with damp, black mould and cracking noted. Large hole noted to ceiling plaster due to water ingress and ceiling appears bowed in other areas.	Allow to remove ceiling and rectify cause of water ingress prior to replacing with new, plastering and subsequently decorating in a breathable, anti mould paint.	
Room 79	None accessible			

Room No	Description	Condition	Further Recommendations	Condition Score
Room 80	Plastered ceiling and walls subsequently decorated.	Overall found to be in poor condition with damp and flaking paint throughout.	Allow to rectify cause of damp and scrape off flaking paint prior to redecoration using a breathable paint.	
Room 81	Exposed masonry brick and plastered walls to areas.	Overall satisfactory and fit for purpose.		
Room 82	Exposed masonry brick and plastered walls to areas.	Overall satisfactory and fit for purpose.		
Room 83	Closed boarded timber ceiling and exposed masonry brickwork walls subsequently decorated.	Overall found to be damp throughout with areas of flaking paint and vegetation growth, minor cracking also noted to areas. Fit for current use.	Allow to rectify cause of damp and remove vegetation.	
Room 84	Closed boarded timber ceiling and exposed masonry brickwork walls subsequently decorated.	Overall found to be damp throughout with areas of flaking paint and vegetation growth, minor cracking also noted to areas. Fit for current use.	Allow to rectify cause of damp and remove vegetation.	
Room 85	Closed boarded timber ceiling and exposed masonry brickwork walls subsequently decorated.	Overall found to be damp throughout with areas of flaking paint and vegetation growth, minor cracking also noted to areas. Fit for current use.	Allow to rectify cause of damp and remove vegetation.	
Room 86	Closed boarded timber ceiling and exposed masonry brickwork walls subsequently decorated.	Overall found to be damp throughout with areas of flaking paint and vegetation growth, minor cracking also noted to areas. Active water ingress to far LHS corner.	Allow to rectify cause of water ingress and remove vegetation prior to redecoration.	
Room 87	Underside of glass roof construction and exposed masonry brickwork walls. Cobbled flooring noted.	Overall appears in satisfactory condition with areas of vegetation growth noted to the underside of the roof construction.	Allow to remove vegetation from underside of roof construction.	
Room 88 - Barn Area	Solid concrete floor, exposed brickwork walls, exposed timber ceiling and underside of metal roof areas	Poor condition, lots of spalling to brickwork at upper level, water ingress to walls and vegetation ingrowth from gutters, internal damp	Allow to replace isolated bricks and rectify water ingress prior to removing vegetation throughout.	

Room No	Description	Condition	Further Recommendations	Condition Score
First Floor Rooms 1	Plastered ceiling and walls subsequently decorated.	Overall condition is satisfactory with cracking noted to the high level corner.	Allow to infill cracking prior to redecoration.	
Room 2	Plastered ceiling and walls subsequently decorated.	Overall Overall satisfactory condition.		
Room 3	No Access			
Room 4	Plastered ceiling and walls subsequently decorated.	Overall condition fair with a noticeable slope to the flooring.	Allow for a structural engineer to advise on cause of sloping floor	
Room 5	Plastered ceiling and walls subsequently decorated.	Overall fair condition with cracking noted to the corning details.	Allow to infill cracking prior to redecoration.	
Room 6	Plastered ceiling and walls subsequently decorated.	Appears to be in satisfactory condition.		
Room 7	Plastered ceiling and walls subsequently decorated.	Overall satisfactory with one hairline crack noted.	Allow to infill cracking prior to redecoration.	
Room 7A	Plastered ceiling and walls subsequently decorated. Carpet to floor area	Satisfactory condition with cracking noted, carpet also in poor condition.	Allow to infill cracking prior to redecoration and replacing carpet.	
Room 8	Plastered walls subsequently decorated.	Overall satisfactory condition.		
Room 9	Suspended ceiling tiles. Plastered and subsequently decorated walls.	Overall satisfactory condition with one ceiling tile towards the window noted as damp.	Allow to rectify cause of water ingress prior to replacement of isolated ceiling tiles.	
Room 10	Plastered and subsequently decorated ceiling and walls, with carpeted flooring.	Overall satisfactory		
Room 11	No Access			

Room No	Description	Condition	Further Recommendations	Condition Score
Room 12	Plastered and subsequently decorated ceiling with tiled walls and vinyl flooring.	Poor condition with damp to the cornicing details, cracking noted. Tiles appear to be tenting and asbestos noted to the cement panel behind radiator.	Allow to redecorate ceiling and cornicing using a breathable paint. Hack off existing tiles and replace with new, avoiding the radiator area due to asbestos.	
Room 13 ~ WC	Plastered and subsequently decorated ceiling with tiled walls.	Overall condition satisfactory.		
Room 14	plastered and subsequently decorated ceiling and walls with carpet to floor areas.	Overall condition satisfactory. Floor noted to slope off to the right, possibly due to movement.	Allow for a structural engineer to advise on cause of sloping floor	
Room 15 by the lift	Plastered ceiling and walls subsequently decorated. Carpet to floor areas.	Overall condition satisfactory. Minor cracking noted to ceiling.	Allow to replace carpets and infill cracking to the ceiling prior to redecoration.	
Room 16	Plastered ceiling and walls subsequently decorated.	Overall condition poor with cracking and damp staining to the ceiling.	Allow to infill cracking and redecorate using a breathable paint.	
Room 17	Plastered ceiling and walls subsequently decorated. Carpet to floor areas	Overall condition fair with sloping noted to the floor again.	Allow to seek advice from a structural engineer regarding sloping floor. Also allow to replace carpets.	
Room 18	Plastered ceiling and walls subsequently decorated.	Appears in overall satisfactory condition.		
Room 19	plastered and subsequently decorated ceiling and walls with roof light noted. Carpet to floor areas.	Overall satisfactory with the floor noted to slope and damaged doors. Some damp noted to the roof lights	Allow to investigate integrity of roof lights prior to redecoration of ceiling area. Replace carpet areas and allow to restore doors. Seek advice from a structural engineer regarding uneven flooring.	
Room 20 - Communal Bathroom	Plastered ceiling subsequently painted, with tiled walls and vinyl flooring.	Overall condition poor with cracking noted throughout the tiles and throughout the cornicing details.	Hack off existing tiles and replace with new. Infill cracking and subsequently decorate cornices.	

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Room No	Description	Condition	Further Recommendations	Condition Score
Room 21	Ceiling and walls are plastered, subsequently painted with carpet to floor areas.	Overall poor condition with movement noted and cracking throughout. Damp staining to the ceiling and arches noted.	Allow to investigate and rectify cause of water ingress prior to redecoration using a breathable paint. Replace carpet areas. Seek advice from a structural engineer regarding uneven flooring and cracking.	
Room 22	Ceiling and walls are plastered, subsequently painted with carpet to floor areas.	Extremely poor condition with severe damp staining and cracking noted to the ceiling.	Allow to investigate and rectify cause of water ingress prior to redecoration using a breathable paint. Seek advice from a structural engineer regarding cracking.	
Room 23	Plastered, subsequently papered and decorated ceiling and wall area. Carpet to floor area.	Appears in poor condition, damp noted to the ceiling and the ceiling appears bowed to the end of the corridor.	Allow to removed bowed area of ceiling and investigate/rectify cause of water ingress prior to replacing and redecorating.	
Room 24 - Communal bathroom	Plastered ceiling subsequently painted, with tiled walls and vinyl flooring.	Appears in fair condition with cracking noted to the cornicing.	Allow to infill prior to redecoration.	
Room 25	Plastered and subsequently decorated walls.	Appears in Overall satisfactory condition.		
Room 26	Plastered and subsequently decorated walls.	Overall fair condition throughout, severe damp noted to the left hand window.	Allow to check integrity of window elements prior to redecoration.	
Room 27	Plastered ceiling subsequently painted, with tiled walls and vinyl flooring.	Appears in satisfactory condition		
Room 28	Plastered and subsequently painted ceiling and walls	Appears in fair condition with cracking noted to the adjoining cornicing details	Allow to infill cracking prior to redecoration.	
Room 29	Suspended ceiling tiles in metal grid. Plastered subsequently painted walls and vinyl flooring.	Overall in fair condition with one crack noted to the RHS wall.	Allow to infill cracking prior to redecoration.	
Room 30	Plastered and subsequently decorated ceiling and walls. Vinyl flooring.	In fair condition with cracking noted to the cornicing detail.	Allow to infill cracking to the cornices prior to redecoration.	

Room No	Description	Condition	Further Recommendations	Condition Score
Room 31 - Store Cupboard	Plastered and subsequently decorated walls and ceiling.	In extreme poor condition with extreme cracking and extreme damp noted.	Allow to rectify cause of damp prior to hacking off existing plaster and replacing with new, subsequently decorated in a breathable paint.	
Room 32	Suspended ceiling tiles in a metal grid with plastered walls subsequently painted.	Appears in fair condition		
Room 33		Overall condition is fair with damp noted surrounding the roof lights. Damp staining also noted to the beam on the left hand side.	Allow to scrape off flaking paint prior to checking integrity of roof lights and redecorating in a breathable paint.	
Room 34	No access			
Room 35	Plastered and subsequently decorated ceiling, tiled walls and vinyl flooring.	Fair condition with cracking noted to high level	Allow to infill cracking to high level.	
Room 36 - Corridor	Plastered and subsequently decorated ceiling and walls. Carpeted floors.	Overall poor condition with damp staining to the ceiling and cracking noted. Severe cracking noted to the left hand side of the arch with missing plaster to the lower level.	Allow to seek advice from a structural engineer regarding severe cracking prior to undertaking any works.	
Room 37	Plastered and subsequently decorated ceiling and walls.	Overall satisfactory condition. Timber to the window frame appears bowed.	Allow to investigate cause of timber frame bowing.	
Room 38	Plastered ceiling and walls subsequently decorated.	Overall satisfactory condition with minor cracking noted to the ceiling and areas of damp staining.	Allow to infill cracking and subsequently decorated using a breathable paint.	
Room 39	Plastered ceiling and walls subsequently decorated.	Overall satisfactory condition.		
Room 40	Plastered ceiling and walls subsequently decorated.	In satisfactory condition with minor damp noted.	Allow to redecorate in a breathable paint.	
Room 41 - Corridor	Plastered ceiling and walls subsequently decorated. Carpet to floor areas.	Appears in Overall satisfactory condition with minor cracking noted to the external facing wall.	Allow to infill cracking prior to redecoration.	

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Condition Survey

Room No	Description	Condition	Further Recommendations	Condition Score
Room 42	Plastered subsequently painted walls.	Overall condition is satisfactory.		
Room 43 - Communal WC	Plastered and subsequently painted ceiling, tiled walls and vinyl flooring.	Overall condition is poor with damp noted to the external facing wall and cracking also noted to areas.	Allow to scrape off flaking paint to cornices prior to redecoration using a breathable paint. Hack off existing tiles and replace with new.	
Room 44	Plastered and subsequently decorated ceiling and walls.	Overall condition is fair		
Room 45	Plastered and subsequently decorated ceiling and walls with timber panels to lower level.	Overall condition is fair with minor cracking noted and one cracked pane to the roof lights.	Allow to infill cracking prior to redecoration. Replace isolated roof light pane.	
Room 46	Stud partitions subsequently painted. Carpet to floor area.	Fair condition with minor cracking. Carpet appears in poor condition.	Carpet in requirement of replacement.	
Room 47	Plastered ceiling and walls subsequently decorated	Overall fair condition with cracking noted above the window frame.	Allow to infill cracking prior to redecoration.	
Room 48 - WC	Plastered ceiling and walls subsequently decorated	Overall fair condition with cracking noted to the right hand side of the window. One cracked pane to window.	Allow to infill cracking prior to redecoration. Replace isolated pane.	
Room 49	No access			
Room 50	Plastered walls and ceiling subsequently decorated.	In satisfactory condition		
Room 51	Plastered walls and ceiling subsequently decorated.	Overall poor condition with cracking to the ceiling. Ceiling appears bowed and damp to the external facing wall noted.	Allow to rectify external elements causing damp prior to hacking off plaster to ceiling and plastering, subsequently decorate walls and ceilings using a breathable paint.	
Room 52	Plastered and subsequently decorated ceiling and walls with vinyl flooring.	Overall fair condition with cracking noted to the entrance door and minor cracking to the walls.	Allow to infill cracking prior to redecoration.	
Room 53 - WC	Plastered and subsequently painted ceiling, tiled walls and vinyl flooring.	Overall condition is fair with some damp staining and cracking noted to the ceiling.	Allow to infill prior to redecoration.	

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Room No	Description	Condition	Further Recommendations	Condition Score
Room 54	Suspended ceiling tiles in exposed metal grid, plastered walls subsequently painted and vinyl flooring.	Overall in satisfactory condition.		
Room 55	Suspended ceiling tiles in exposed metal grid, plastered walls subsequently painted and vinyl flooring.	Overall satisfactory condition with 1 crack noted to the ceiling area.	Allow to infill cracking prior to redecoration.	
Room 56	Plastered ceiling and walls subsequently painted and vinyl flooring.	Overall in satisfactory condition with minor cracking noted to the door area.	Allow to infill cracking prior to redecoration.	
Room 57	Suspended ceiling tiles in exposed metal grid, plastered walls subsequently painted and vinyl flooring.	Overall condition fair with damp noted to the ceiling tiles.	Allow to rectify source of water ingress prior to replacing isolated tiles.	
Room 58	Suspended ceiling tiles in exposed metal grid, plastered walls subsequently painted and vinyl flooring.	Overall satisfactory with damp staining to the ceiling tiles.	Allow to rectify source of water ingress prior to replacing isolated tiles.	
Room 59 - Corridor	Plastered ceiling and walls subsequently painted and vinyl flooring.	Overall satisfactory with one crack noted.	Allow to infill prior to redecoration.	
Room 60	Suspended ceiling tiles in exposed metal grid, plastered walls subsequently painted and vinyl flooring.	Overall condition fair with damp noted to the ceiling tiles.	Allow to rectify source of water ingress prior to replacing isolated tiles.	
Room 61-67 abandoned	Exposed timber roof elements with areas of fallen plaster, exposed masonry walls with areas of missing damage/remaining plaster. Exposed timber floor boards.	Extremely poor condition with areas of water ingress and damp throughout.	Allow to continue with refurbishment.	

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Room No	Description	Condition	Further Recommendations	Condition Score
Attic Area				
Room 1	Lath and plaster walls and ceiling with exposed timber floor.	Poor condition, paintwork is peeling to ceiling area. There are holes in the wall and ceiling.	Room requires full refurbishment to walls, floor and ceiling.	
Area 25 - Corridor	Lath and plaster walls and ceiling and exposed timber floor	Poor condition, plaster is damaged and falling down in areas where there appears to be a leak. Paintwork to the walls and ceiling are peeling.	Room requires full refurbishment to walls, floor and ceiling.	
Zone 31	Lath and plaster walls and ceiling and exposed timber floor.	Poor condition, paintwork is peeling to ceiling and walls.	Room requires full refurbishment to walls, floor and ceiling.	
Zone 30	Lath and plaster walls and ceiling and exposed timber floor	Poor condition, leak from roof leave and section of ceiling is missing.	Room requires full refurbishment to walls, floor and ceiling.	
Area 39	Lath and plaster walls and ceiling and exposed timber floor	Poor condition, large crack in wall identified.	Room requires full refurbishment to walls, floor and ceiling.	
Area 26	Lath and plaster walls and ceiling and exposed timber floor.	Poor condition, leak from roof leave and section of ceiling is missing.	Room requires full refurbishment to walls, floor and ceiling.	
Area 28	Lath and plaster walls and ceiling and exposed timber floor	Poor condition, leak from roof leave and section of ceiling is missing.	Room requires full refurbishment to walls, floor and ceiling.	

Room No	Description	Condition	Further Recommendations	Condition Score
Stair core				
Stair core 1	Original timber staircase with a carpet finish.	Stairs are in satisfactory condition however uneven due to possible movement or settlement.	It is advised that a structural engineer is appointed to assess any future movement.	
Stair core 2	Original timber staircase with a carpet finish.	Stairs are Overall in reasonable condition, the spindles to the balustrade are loose with gaps where they meet the rail. There is a leak at the top level from the roof area above.	Ensure area is water tight prior to undertaking repair works to the ceiling and walls. Damp plaster is to be removed and area allowed to dry out prior to new plaster works to be undertaken.	
Stair core 3	Staircase covered with carpet.	Overall satisfactory condition.		
Stair core 4	Staircase covered with carpet.	Overall satisfactory condition.		

Room No	Description	Condition	Further Recommendations	Condition Score
Elevations				
Elevation A	<p>Solid red brick wall with decorative detailing, openings dressed with stonework with single glazed timber frame windows. Single storey sandstone section to old entrance area.</p>	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>The sandstone to the old entrance is spalling in areas.</p> <p>At higher level it appears that the mortar to the verge stones has deteriorated causing water to run down the brickwork below causing staining and lichen growth.</p> <p>Large amounts of vegetation was identified throughout, there are isolated areas of ivy growing up the building. In some areas this has been cut back leaving sections to dry out.</p> <p>Along the elevation the string course is damaged with sections that are missing.</p> <p>Isolated areas of spalling to the brickwork was identified and areas where the mortar is deteriorating.</p> <p>Water staining was noted around several of the cast iron rainwater hoppers and downpipes.</p> <p>Several of the timber framed windows are rotten in areas.</p>	<p>Allow to remove all vegetation and clean down brickwork removing any water staining and lichen growth. Areas to be treated to prevent future Vegetation growth.</p> <p>Allow to rake out defective mortar to the verge stones and failed mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Allow to undertake appropriate resin repairs to damaged string course where possible, badly damaged string course will require full replacement.</p> <p>Ensure gutters are clear and cleaned on a regular basis.</p> <p>Allow to undertake appropriate splice repairs to timber windows.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Elevation B	Solid red brick wall with decorative detailing, stonework bay window openings dressed with stonework with single glazed timber frame windows.	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>At higher level it appears that the mortar to the verge stones has deteriorated causing water to run down the brickwork below causing staining and lichen growth.</p> <p>Areas of vegetation growth was identified at higher level, there are isolated areas of ivy growing up the building. In some areas this has been cut back leaving sections to dry out.</p> <p>Water staining was noted around several of the cast iron rainwater hoppers and downpipes.</p> <p>Several of the timber framed windows are rotten in areas.</p>	<p>Allow to remove all vegetation and clean down brickwork removing any water staining and lichen growth. Areas to be treated to prevent future Vegetation growth.</p> <p>Allow to rake out defective mortar to the verge stones and failed mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Ensure gutters are clear and cleaned on a regular basis.</p> <p>Allow to undertake appropriate splice repairs to timber windows.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Elevation C	Solid red brick wall with decorative detailing, openings dressed with stonework with single glazed timber frame windows.	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>To the rear of the barn there are abandoned derelict barns that have been subject to fire damage.</p> <p>At higher level it appears that the mortar to the verge stones has deteriorated causing water to run down the brickwork below causing staining and lichen growth.</p> <p>Large amounts of vegetation was identified throughout, there are isolated areas of ivy growing up the building.</p> <p>Along the elevation the string course is damaged with sections that are missing.</p> <p>Isolated areas of spalling to the brickwork was identified and areas where the mortar is deteriorating.</p> <p>Cracking in the brickwork was identified around the circular bay window, steel ties were also identified in this area. Cracking was also noted around the stand stone bay window and around the string course in this area.</p>	<p>Allow to remove all vegetation and clean down brickwork removing any water staining and lichen growth. Areas to be treated to prevent future vegetation growth.</p> <p>Allow to rake out defective mortar to the verge stones and failed mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Allow to undertake appropriate resin repairs to damaged string course where possible. badly damaged string course will require full replacement.</p> <p>Ensure gutters are clear and cleaned on a regular basis.</p> <p>Allow to undertake appropriate splice repairs to timber windows.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
		<p>Water staining was noted around several of the cast iron rainwater hoppers and downpipes.</p> <p>Several of the timber framed windows are rotten in areas.</p>		
Elevation D	<p>Solid red brick wall with openings dressed with stonework with single glazed timber frame windows.</p>	<p>The elevation was viewed from ground level however there was limited access due to overgrown vegetation. The following defects have been identified.</p> <p>The gutters are higher level are filled with vegetation growth which is causing water to run onto the brickwork below resulting in lichen growth.</p> <p>Large amounts of vegetation was identified throughout, there are isolated areas of ivy growing up the building.</p> <p>Isolated areas of spalling to the brickwork was identified and areas where the mortar is deteriorating.</p> <p>Several of the timber framed windows are rotten in areas.</p>	<p>Allow to remove all vegetation and clean down brickwork removing any water staining and lichen growth. Areas to be treat to prevent future Vegetation growth.</p> <p>Allow to rake out defective mortar to failed mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Ensure gutters are clear and cleaned on a regular basis.</p> <p>Allow to undertake appropriate splice repairs to timber windows.</p>	
Elevation E	<p>Solid red brick wall with decrete detailing, openings dressed with stonework with single glazed timber frame windows.</p>	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>At higher level it appears that the mortar to the verge stones has deteriorated.</p>	<p>Allow to rake out defective mortar to the verge stones and repoint with an appropriate lime based conservation mortar.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Elevation F	Solid red brick wall with decorative detailing, openings dressed with stonework with single glazed timber frame windows.	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>At higher level it appears that the mortar to the verge stones has deteriorated, there is a section that is damaged causing water to run down the brickwork below resulting in spalling to the brickwork.</p> <p>Vegetation was identified in areas with isolated areas of ivy growing up the building.</p> <p>Isolated areas of spalling to the brickwork was identified and areas where the mortar is deteriorating.</p> <p>Water staining was noted around several of the cast iron rainwater hoppers and downpipes and paintwork was peeling.</p> <p>Several of the timber framed windows are rotten in areas.</p>	<p>Allow to remove all vegetation and clean down brickwork removing any water staining and lichen growth. Areas to be treated to prevent future vegetation growth.</p> <p>Allow to rake out defective mortar to the verge stones and failed mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Ensure gutters are clear and cleaned on a regular basis.</p> <p>Allow to remove any loose or flaking paintwork to rainwater goods and redecorate with appropriate external metal paint.</p> <p>Allow to undertake appropriate splice repairs to timber windows.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Elevation G	Solid red brick wall with decorative detailing, openings dressed with stonework with single glazed timber frame windows.	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>At higher level it appears that the mortar to the verge stones has deteriorated causing water to run down the brickwork below.</p> <p>Vegetation was identified in areas, there are isolated areas of ivy growing up the building.</p> <p>There were isolated areas of peeling to the rainwater goods paintwork.</p> <p>Several of the timber framed windows are rotten in areas.</p>	<p>Allow to remove all vegetation and clean down brickwork removing any water staining and lichen growth. Areas to be treated to prevent future vegetation growth.</p> <p>Allow to rake out defective mortar to the verge stones and failed mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Ensure gutters are clear and cleaned on a regular basis.</p> <p>Allow to remove any loose or flaking paintwork to rainwater goods and redecorate with appropriate external metal paint.</p> <p>Allow to undertake appropriate splice repairs to timber windows.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Elevation H	Solid red brick wall with decorative detailing, openings dressed with stonework with single glazed timber frame windows.	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>At higher level it appears that the mortar to the verge stones has deteriorated causing water to run down the brickwork below causing areas of cracking.</p> <p>There are isolated areas of spalling to the brickwork and deterioration to the mortar.</p> <p>Vegetation was identified in areas, there are isolated areas of ivy growing up the building.</p> <p>Water staining was noted around the cast iron rainwater hoppers and downpipes and paintwork was peeling.</p> <p>Several of the timber framed windows are rotten in areas.</p>	<p>Allow to remove all vegetation and clean down brickwork removing any water staining and lichen growth. Areas to be treated to prevent future vegetation growth.</p> <p>Allow to rake out defective mortar to the verge stones and failed mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Ensure gutters are clear and cleaned on a regular basis.</p> <p>Allow to remove any loose or flaking paintwork to rainwater goods and redecorate with appropriate external metal paint.</p> <p>Allow to undertake appropriate splice repairs to timber windows.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Elevation I	Solid red brick wall with decorative detailing, archway, openings with single glazed timber frame windows and timber loft hatches.	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>There are isolated areas of spalling to the brickwork and deterioration to the mortar, predominantly to the end archway.</p> <p>Several of the original stable door openings have been bricked up to form windows openings and there is a clear change in the brickwork.</p> <p>The cast iron gutters are corroding throughout and sections are leaking causing lichen growth to the lower level brickwork where it is ponding.</p> <p>There are isolated areas of peeling to the paintwork to the windows and loft hatches which will lead to rotting of the timber.</p>	<p>Allow to rake out defective mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Ensure gutters are clear and cleaned on a regular basis.</p> <p>If possible allow to treat corroded cast iron gutters and redecorate with appropriate external metal paint.</p> <p>Allow to remove any loose paintwork to timber windows and loft hatches and redecorate.</p>	
Elevation J	Solid red brick wall archways blocked with timber hoarding.	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>The archways lead to the abandoned buildings to the rear of the property.</p> <p>There is spalling to the brickwork and deterioration to the mortar throughout.</p> <p>There are high amounts of vegetation causing lichen growth to the brickwork. Areas are inaccessible due to vegetation.</p> <p>There is a cast iron rainwater downpipe which is missing the lower section.</p>	<p>Allow to remove all vegetation and clean down brickwork removing any water staining and lichen growth. Areas to be treated to prevent future Vegetation growth.</p> <p>Allow to rake out defective mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Allow to supply new cast iron downpipe.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Elevation K	Solid red brick wall with timber louver openings and high level timber cladding to 5No bays.	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>There are isolated areas of peeling to the paintwork to the timber louvers and high level cladding which will lead to rotting of the timber.</p> <p>There are isolated areas of spalling to the brickwork and deterioration to the mortar.</p>	<p>Allow to rake out defective mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Allow to remove any loose paintwork to timber louvers and cladding prior redecorate.</p>	
Elevation L	Solid red brick wall with, archway, openings with single glazed timber frame windows and timber loft hatches.	<p>The elevation was viewed from ground level. Where visible the following defects have been identified.</p> <p>There is a cast iron rainwater downpipe which is missing the lower section causing water to run onto the brickwork below resulting in the wall being saturated and lichen growth.</p> <p>There are isolated areas of spalling to the brickwork and deterioration to the mortar where vegetation is growing in the mortar gaps.</p> <p>The paintwork to the loft hatches is peeling which will lead to rotting of the timber.</p>	<p>Allow to rake out defective mortar to the elevation and repoint with an appropriate lime based conservation mortar.</p> <p>Allow to replace missing section of downpipe.</p> <p>Allow to remove any loose paintwork to timber loft hatches and redecorate.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Roof Areas				
Roof Area 1	Flat Lead Roof with Dome skylight and concealed gutter.	Limited access to roof area. Roof was viewed from internal window and appeared to be dated. Water ingress was also identified internally in this area.	It is recommended that the lead work is replaced with new code 7 lead.	
Roof Area 2	Naturally slated roof with terracotta ridge tiles, verge tiles, lead valley gutters, timber dormers and structural steel ties.	<p>Access was available to roof area 2.</p> <p>Several slipped and missing slates were identified during the inspection. This is due to failure of the nails holding the slates. The ridge tiles are heavily spalled and loose in areas where mortar is missing and crumbling.</p> <p>The valley gutter have areas filled with debris causing blockages.</p> <p>The timber dormers are rotten in areas with sections of the timber damaged.</p> <p>The structural steel ties have failed causing them to drop.</p>	<p>Allow to re-fix or replace any damaged or missing slates.</p> <p>It is recommended that the ridge and verge tiles are repointed in an appropriate lime based mortar and any badly spalled ridge and verge tiles are replaced to match existing.</p> <p>Valley gutters should be cleaned to ensure free flowing and it is advised that a maintenance programme is put in place.</p> <p>It is advised that splice repairs are undertake to the rotten timber dormers.</p> <p>It is advised that a structural engineer is appointed to review the structural ties.</p>	
Roof Area 3	Combination of lead and asbestos cement roof coverings.	Access was available to roof area 2 however damaged asbestos was identified and therefore inspection was not undertaken. Leaks were identified internally in this area.	<p>Allow for asbestos to be removed by an asbestos specialist.</p> <p>It is recommended that the lead work is replaced with new code 7 lead.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Roof Area 4	Naturally slated roof with terracotta ridge tiles, verge tiles, lead valley gutters, brickwork chimneys, timber dormers windows and lead dormer which has been added at a later date to house ductwork.	<p>Access was available to roof area 4.</p> <p>Several slipped and missing slates were identified during the inspection. This is due to failure of the nails holding the slates. The mortar to the ridge tiles is crumbling in areas. Several of the ridge tiles have been replaced and fitted with UPVC vents.</p> <p>Section of the mortar to the brickwork chimneys have been repointed however there are areas where the mortar is loose and missing.</p> <p>The valley gutter have areas filled with debris causing blockages.</p> <p>The timber dormers are rotten in areas with sections of the timber damaged.</p>	<p>Allow to fully strip roof and retain existing slates and ridge tiles where possible. Roof area to be re battened and felt prior to fixing slates and ridge tiles. Where possible existing slates to be used on outward facing elevations.</p> <p>It is recommended that whilst the roof slates are lifted that the lead valley gutters are replaced.</p> <p>It is advised that splice repairs are undertaken to the rotten timber dormers.</p> <p>It is recommended that any crumbling mortar to the chimneys is raked out and repointed with a suitable lime based mortar.</p>	
Roof Area 5	Flat Lead Roof	Access was available to roof 5. Lead work appeared dated however in reasonable condition.	Allow to undertake any minor repairs as required.	
Roof Area 6	Flat bitumen felt roof	Access was available to roof 6. Covering appears to have been replaced in recent years and free from defects.		
Roof Area 7	Naturally slated roof with terracotta ridge tiles, verge tiles, lead valley gutters and brickwork chimney.	<p>Access was not available to roof area 6 and therefore limited visibility.</p> <p>Several slipped and missing slates were identified during the inspection. This is due to failure of the nails holding the slates. The mortar to the ridge appears brittle which will result in it crumbling in areas.</p>	<p>Allow to replace or re-fix any damaged or missing slates.</p> <p>It is recommended that the ridge tiles are repointed with an appropriate lime based mortar.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Roof Area 8	Naturally slated roof with terracotta ridge tiles, verge tiles, lead valley gutters and glazing dormer.	Assess was not available to this roof area and there was no visibility from ground level due to the parapet walls.	Further investigation is advised in this area.	
Roof Area 9	Naturally slated roof with terracotta ridge tiles, verge tiles, lead valley gutters and brickwork chimney.	<p>Access was available to roof area 8.</p> <p>Several slipped and missing slates were identified during the inspection. This is due to failure of the nails holding the slates. The mortar to the ridge tiles is crumbling in areas.</p> <p>The valley gutter have areas filled with debris causing blockages.</p>	<p>Allow to re-fix or replace any damaged or missing slates.</p> <p>It is recommended that the ridge and verge tiles are repointed in an appropriate lime based mortar.</p> <p>Valley gutters should be cleaned to ensure free flowing and it is advised that a maintenance programme is put in place.</p>	
Roof Area 10	Naturally slated roof with lead flashing.	Roof area was accessible and appeared in satisfactory condition. Small section of lead flashing was missing to the brickwork upstand.	Allow to replace missing section of lead work.	
Roof area 11	Naturally slated roof with terracotta ridge tiles, verge tiles, lead valley gutters and brickwork chimneys.	<p>Access was available to roof area 11.</p> <p>Several slipped and missing slates were identified during the inspection. Several lead hinge repairs were identified predominantly to the front section. This is due to failure of the nails holding the slates. The mortar to the ridge tiles is crumbling in areas.</p> <p>The valley gutter have areas filled with vegetation and debris causing blockages. A section of the roof area is overgrown with trees.</p>	<p>Allow to fully strip the front section of the roof and retain existing slates and ridge tiles where possible. Roof area to be re battened and felt prior to fixing slates and ridge tiles.</p> <p>Allow to re-fix or replace any damaged or missing slates.</p> <p>It is recommended that the ridge and verge tiles are repointed in an appropriate lime based mortar.</p> <p>Valley gutters should be cleaned to ensure free flowing and it is advised that a maintenance programme is put in place.</p>	

Room No	Description	Condition	Further Recommendations	Condition Score
Roof Area 12	Naturally slated roof with terracotta ridge tiles, verge tiles, lead valley gutters, lead dormer and brickwork clock within the parapet.	<p>Access was available to roof area 12.</p> <p>Several slipped and missing slates were identified during the inspection. This is due to failure of the nails holding the slates. The mortar to the ridge tiles is crumbling in areas with large sections missing.</p> <p>The valley gutter have areas filled with vegetation and debris causing blockages. A section of the valley has been replaced with bitumen felt which has failed and not dressed into the parapet.</p> <p>There is a structural steel tie supporting the clock within the parapet which is starting to corrode.</p> <p>Internally there are a large amount of leaks in these areas.</p>	<p>Allow to fully strip the roof and retain existing slates and ridge tiles where possible. Roof area to be re batted and felt prior to fixing slates and ridge tiles.</p> <p>Valley gutters should be cleaned to ensure free flowing and it is advised that a maintenance programme is put in place.</p> <p>It is recommended that, where the leadwork has been replaced with bitumen, that lead is reinstated.</p> <p>It is advised that a structural engineer is appointed to review the structural ties.</p>	
Roof Area 13	Pitched Georgian wired glazed roof dressed with lead.	<p>Limited access to roof area 13. Were visible several of the glazing panels are cracked/ damaged.</p> <p>The valley gutters are overgrown with vegetation throughout.</p>	<p>Allow to replace damaged glazing panels.</p> <p>Valley gutters should be cleaned to ensure free flowing and it is advised that a maintenance programme is put in place.</p>	
Roof Area 14	Pitched asbestos cement roof.	Assess was not available to this roof area and there was no visibility from ground level due to the parapet walls.	Further investigation is advised in this area.	

APPENDIX A

100%
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 Ominic Design Limited, 20 Austin Road, Depwinton, Kent, ME9 5EU



Ground Floor



1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88		

Sue Ryder Care

Coventry Hall
Preston

Ground Floor
Existing General
Arrangement

260810	000	000
1:100 @ 1350x840		
100803	112/75/2	



SIGNED: _____
 NAME: _____
 DEPARTMENT: _____

AS SURVEYED



NOTES
 To be read in conjunction with the drawings.
 All dimensions are given in millimetres unless otherwise stated.
 All dimensions are to the centre of the wall unless otherwise stated.
 All dimensions are to the centre of the wall unless otherwise stated.
 All dimensions are to the centre of the wall unless otherwise stated.



First Floor



- 1. 1:100
- 2. 1:200
- 3. 1:500
- 4. 1:1000
- 5. 1:2000
- 6. 1:5000
- 7. 1:10000
- 8. 1:20000
- 9. 1:50000
- 10. 1:100000

Sue Ryder Care

Causton Hall
Preston

First Floor
Existing General
Arrangement

28/09/10	DD	DD
1:100	1:200	1:500
1:1000	1:2000	1:5000
1:10000	1:20000	1:50000
1:100000	1:200000	1:500000

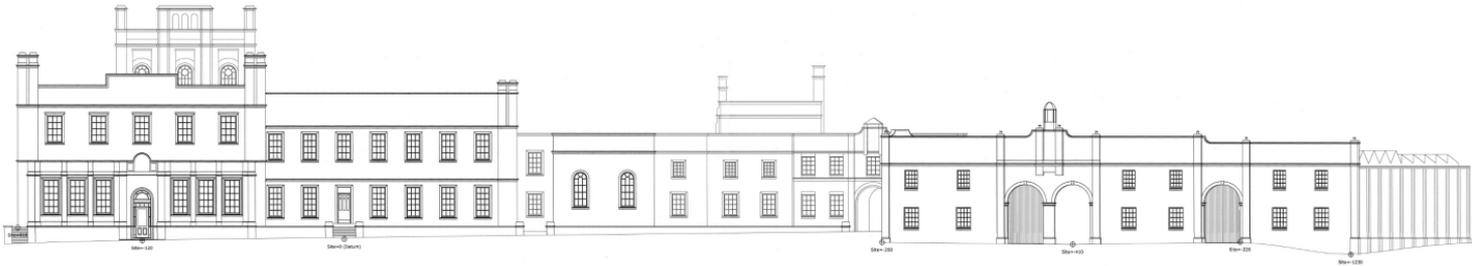


100803 112/75/3

SIGNATURE: _____
 NAME: _____
 DEPARTMENT: _____

AS SURVEYED

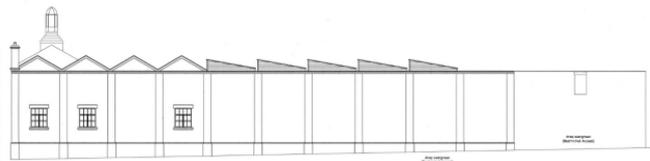




Elevation A (Front)



Elevation B (Left Side)

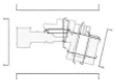


Elevation D (Right Side)



Elevation C (Rear)

NOTES:
 All elevations are brick unless otherwise stated.



NOTES:
 All elevations are brick unless otherwise stated.



1	2	3	4	5	6	7	8	9	10
---	---	---	---	---	---	---	---	---	----

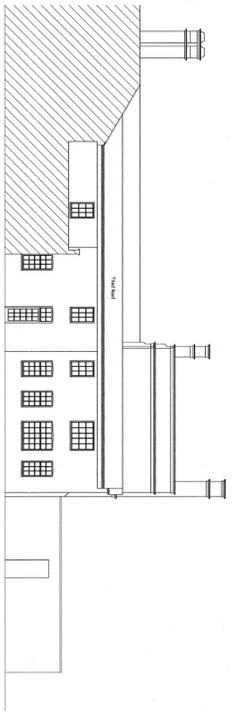
Client	Sue Ryder Care
Project Name	Quendon Hall Preston
Project Address	Existing External Elevations

Scale	1:100 @ 1000x600
Drawn	100803
Checked	112/75/4

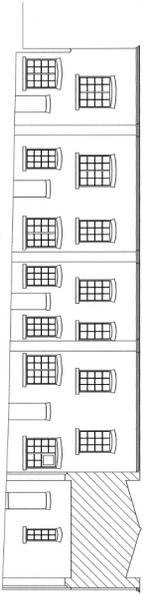
DRAWN: _____
 NAME: _____
 DEPARTMENT: _____

AS SURVEYED

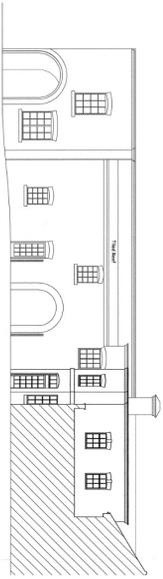




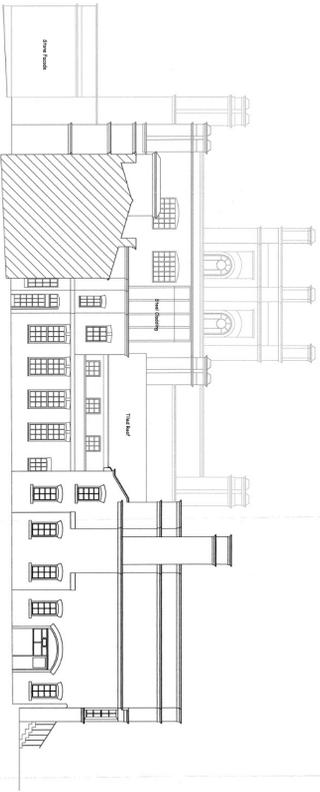
Elevation E (Courtyard)



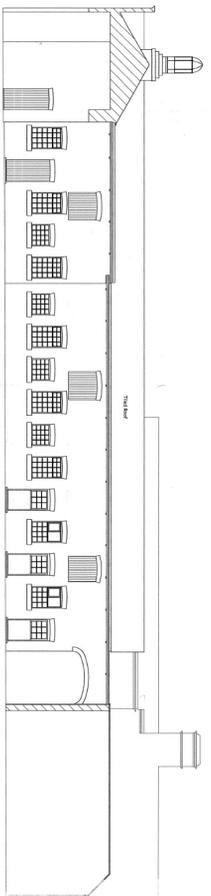
Elevation F (Courtyard)



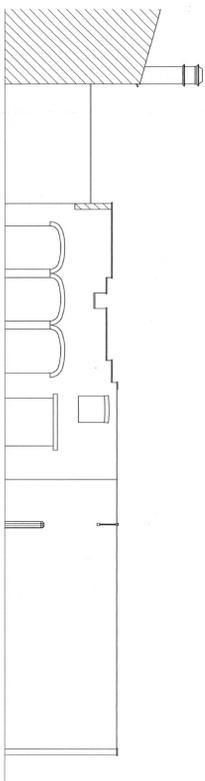
Elevation G (Courtyard)



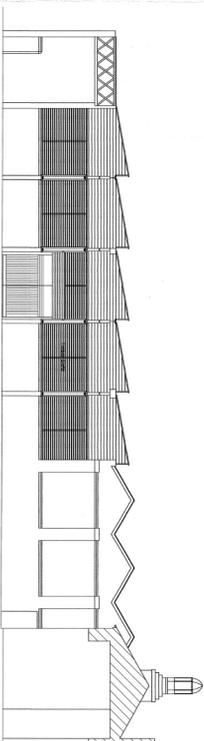
Elevation H (Courtyard)



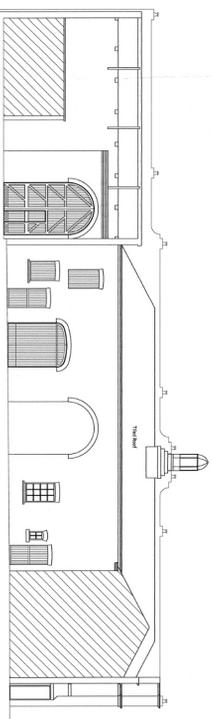
Elevation I (Coachyard)



Elevation J (Coachyard)

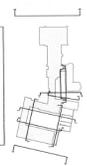


Elevation K (Coachyard)



Elevation L (Coachyard)

NOTES
 All elevations are brick unless otherwise stated.



01 2 3 4 5 6 7 8 9 10
 Scale

1	7/24/2018	01/01/18
2	7/24/2018	01/01/18
3	7/24/2018	01/01/18
4	7/24/2018	01/01/18
5	7/24/2018	01/01/18
6	7/24/2018	01/01/18
7	7/24/2018	01/01/18
8	7/24/2018	01/01/18
9	7/24/2018	01/01/18
10	7/24/2018	01/01/18

Client	Site Ryder Care
Project	Existing Courtyard & Coachhouse Elevations
Location	10000 CAD Ave
City	1100 @ 15000410
State	100803
Date	11/27/15

AS SURVEYED

Cuerden Hall – Roof Plan



Cuerden Hall – Roof Plan



Cuerden Hall – Roof Plan



APPENDIX B



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6

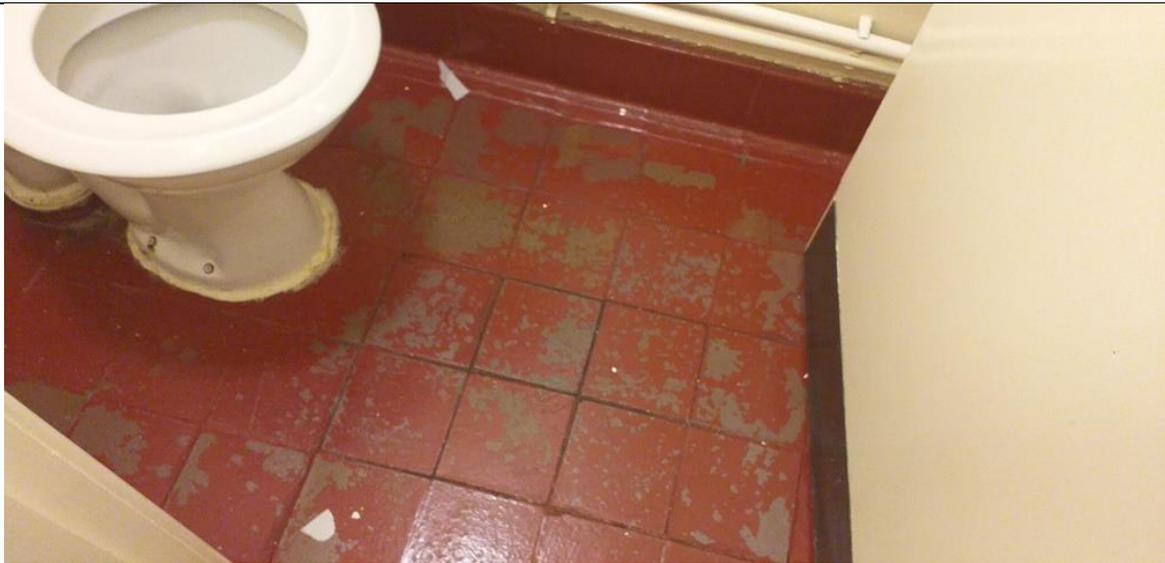


Photo 7



Photo 8



Photo 9



Photo 10



Photo 11



Photo 12



Photo 13



Photo 14



Photo 15



Photo 16



Photo 17



Photo 18



Photo 19



Photo 20



Photo 21



Photo 22



Photo 23



Photo 24



Photo 25



Photo 26



Photo 27



Photo 28



Photo 29



Photo 30



Photo 31



Photo 32



Photo 33



Photo 34



Photo 35

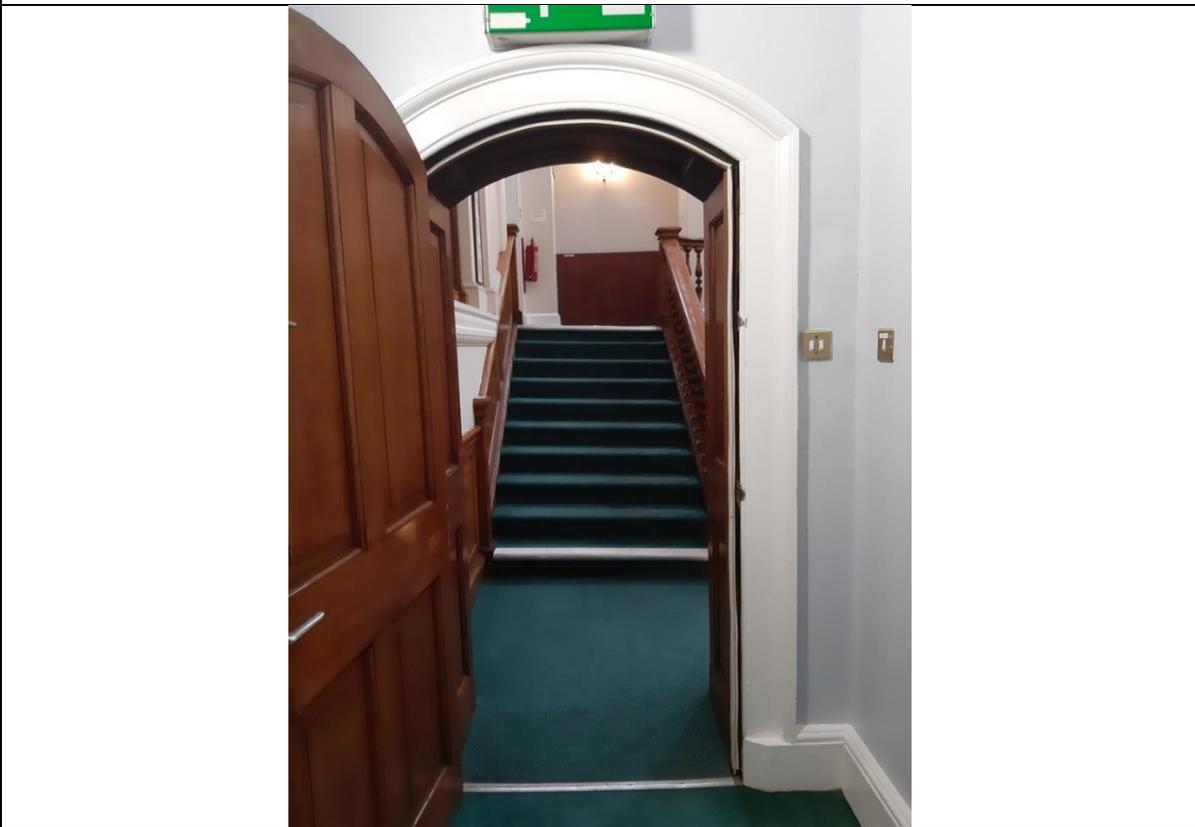


Photo 36



Photo 37



Photo 38



Photo 39



Photo 40



Photo 41



Photo 42



Photo 43



Photo 44



Photo 45

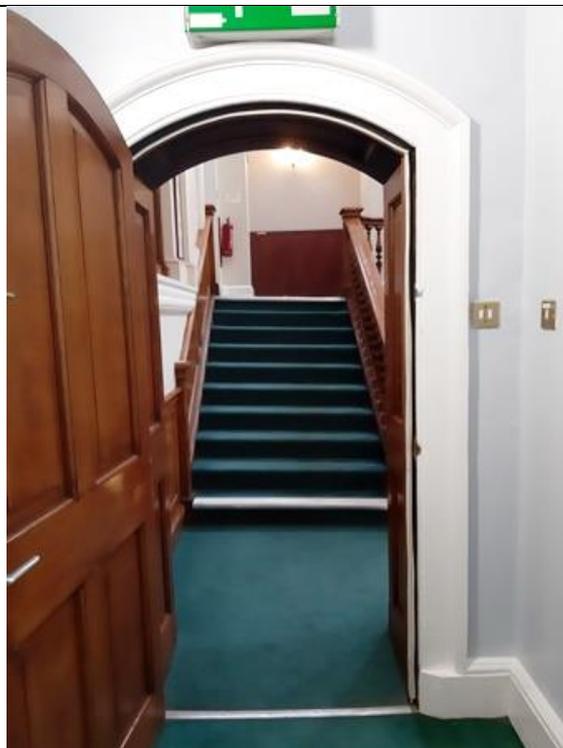


Photo 46



Photo 47



Photo 48



Photo 49



Photo 50



Photo 51



Photo 52



Photo 53



Photo 54



Photo 55



Photo 56



Photo 57



Photo 58



Photo 59



Photo 60



Photo 61



Photo 62



Photo 63



Photo 64



Photo 65



Photo 66



Photo 67



Photo 68

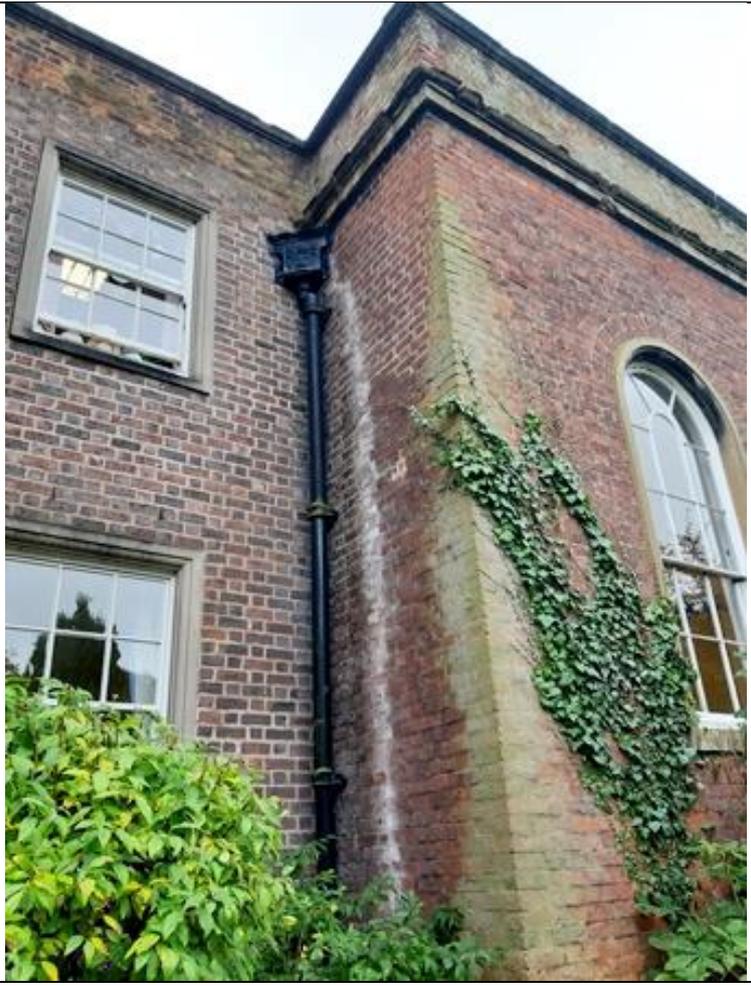


Photo 69



Photo 70



Photo 71

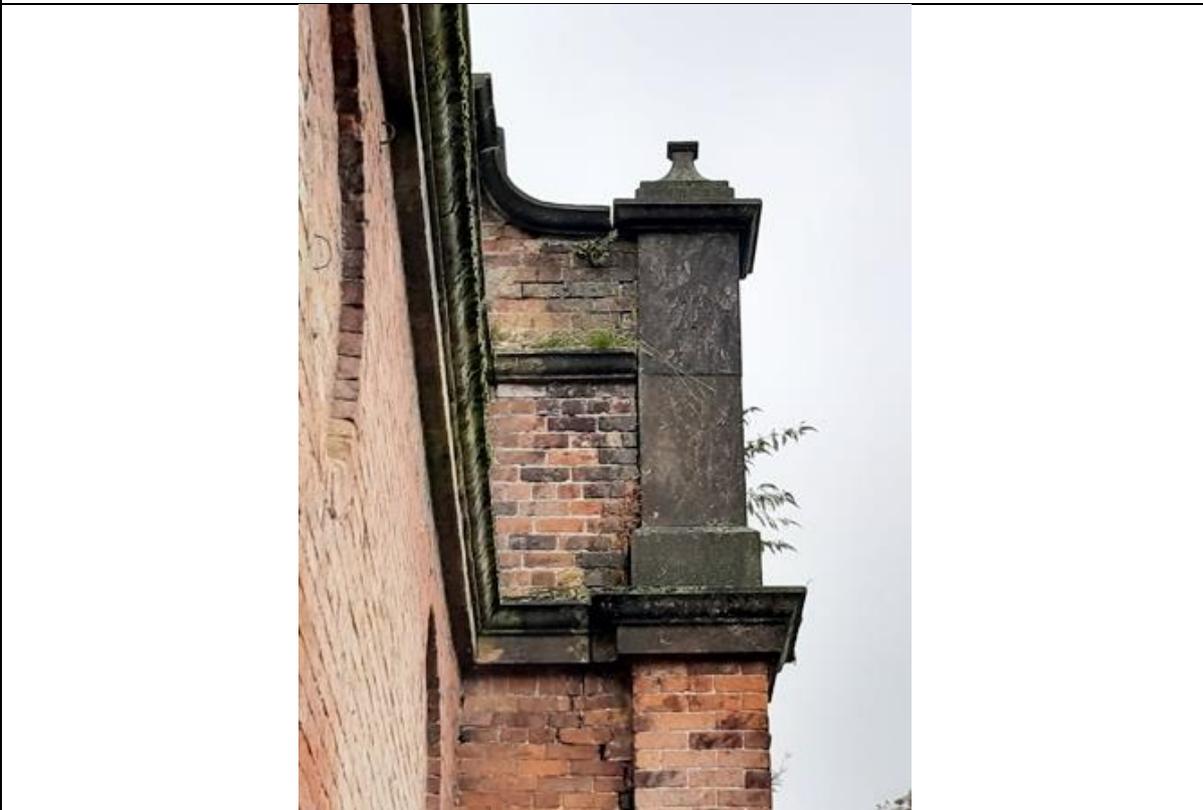


Photo 72



Photo 73



Photo 74



Photo 75



Photo 76



Photo 77



Photo 78



Photo 79



Photo 80



Photo 81



Photo 82



Photo 83



Photo 84



Photo 85